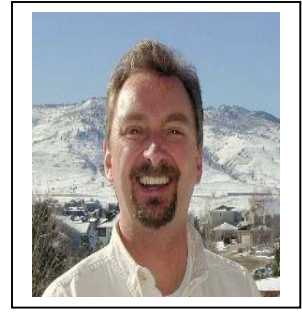


The Home Buyer Roadmap – Finding the right area and identifying your dream home

By Stacey Arias – ReMax of Longmont
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Lets determine the best area for you to live in. Your buyer's agent can give you some guidance but you really need to do some research and be to answer some questions when you meet with them. Here are some considerations to make when looking for an area to live in:

1. Do you want new or resale?
2. How close to your work should the home be?
3. Do you want to live in the country or in town?
4. Drive around to see what areas are to your liking.
5. Find out if the neighborhood you are interested in has traffic congestion during commute hours.
6. Do you prefer to be close to schools, churches or the hospital?
7. Contact the school district and go to their website, they have great info about rankings
8. Call the local police department to find out what areas have a higher crime rate.
9. Talk to the police about Megan's Law. Megan's law requires that the police release a list of sex offenders that reside in the area.
10. Create a list of desirable features: Beds, baths, square footage and style. (2 story, ranch),



Now you're ready to have your buyer's agent start searching. Arrange a time to meet and go over your list by importance. Your agent will do a search based on the information you give them. You can sit in the office with them and go over the prospects together or they might give ask you to view the possibilities and narrow it down to your favorite. The next step will be to tour the homes. Some agents will preview the homes for you and discard homes that don't meet your criteria; others will take you to the home and let you decide if it's your dream home. Touring can be hard work and at the end of the day confusing, as it is easy to mix-up features of the homes. It s good idea to make notes on the MLS sheets of any home that you are interested in. If you find a "contender" for the perfect home, then you will want to tour the neighborhood and see the home at various times of the day. The sellers may be inconvenienced by scheduling visits at various times, but as the buyer you may want to know what parts of the house are sunny or shaded at various times of the day. If you have specific questions on items such as energy consumption, your agent can request this information from the seller.

Remember there is no perfect home and you might not be able to find everything you have laid out. Figure out what are the "must haves" and what are things you can live without. You might find a house that has everything you want but is missing the jetted

tub or maybe you don't like the counter tops but everything else is perfect. Think it through and remember to look past the paint and the simple fixes. You can do simple things to make this your home! Most important is to find the best fit for you!! Good luck and have fun, this is one of the most important things you do in life it should be a positive experience.

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