

# Inspection Report

on

123 Anacortes Place

Prepared Exclusively for

Sample



Inspection Date  
12/10/06

Prepared by



5116 Heather Dr.  
Anacortes, Washington 98221  
Toll Free 1-866-618-7764 or 360-588-6956

December 10, 2006

Sample

Re: 157 9th St.  
Anacortes, Washington

Dear Sample,

At your request, a visual inspection of the above referenced property was conducted on 12/10/02. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please review this entire report including the limitations contained in the inspection agreement before rendering any conclusions. Not all comments will be in the summary document.

### REPORT SUMMARY

Overall, the home was constructed in a workmanlike manner, consistent with the local building trades and codes in effect at the time of construction. This summary is broken into four sections: *Safety Concerns*, *Corrections Recommended*, *Further Evaluation* and *Recommended Upgrades*:

- **Safety Concerns** are conditions that may pose a hazard to humans, the building or both. These conditions warrant your immediate consideration.
- **Correction Recommended** are conditions that would be in need of maintenance, repair or replacement. We recommend that these corrections be made by the appropriate tradespeople.
- **Further Evaluation** are conditions observed that warrant further evaluation by a specialist in the building trades.
- **Recommended upgrades** are systems or components that may not have been available or have been improved since the building was constructed. These may be but not limited to safety related items: such as GFCI receptacles and smoke detectors locations and the installation of safety glass where subject to human impact.

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## Safety Concerns

None

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## Correction Recommended

ROOF SYSTEM

ROOF:

ROOF COVERING STATUS:

There appears to be three generations of shingles on the house. The original shingles such as on front porch and SW corner appear to be original, roofing on NE (front) portion of the roof is approximately 10 yr. old and on the SE portion of the roof was installed recently. Asphalt or fiberglass roofing shingles generally have service lives of 10-12 years and 12-15 years respectively in this area of the country. Heavy duty shingles will often last 15 to 18 years before replacement is needed. Signs of aging include brittleness, minor curling, and loss of mineral granules, while signs of advanced aging are severe curling, broken or split shingles, and exposed felts. The porch, shed and SE corner shows signs of advanced aging (see pictures)

## INTERIOR

### DOORS:

#### INTERIOR DOORS:

Bedroom #3 Bolt and striker are damaged.

### WINDOWS:

#### TYPE & CONDITION:

All in good shape. Window in rear is cracked.

## HEATING - AIR CONDITIONING

### AUXILIARY EQUIPMENT:

#### SWAMP COOLER:

Swamp Cooler legs need to be attached and caulked to prevent roof leak. Drain line is missing and needs to be routed to a drain to avoid damage to shingles. Water supply line appears to be a temporary connect to spigot. It is recommended that a permanent connection be made.

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## Further Evaluation

### HEATING - AIR CONDITIONING

#### HEATING SYSTEM DESCRIPTION:

##### ADDITIONAL HEATING SYSTEMS:

Unknown type of air handling unit in attic. Have the sellers disclose the purpose of system and demonstrate the proper operation of this component prior to taking possession of the property.

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## Recommended upgrades

### EXTERIOR - FOUNDATION - BASEMENT

#### WALLS:

##### CONDITION:

Appears serviceable. Wood siding is in contact with soil. This could allow some types of pests such as termites to come in contact with the siding. Soil should be pulled back from wood by about 6".

There appears to be numerous areas where birds or possibly rodents have penetrated the wood sheathing. Some areas have been sealed with sheet metal and other are still open. See pictures.

### GARAGE - CARPORT

#### GARAGE DOOR(S):

##### CONDITION:

Appears serviceable, Automatic reverse feature is operational. Left door is manual in operation and sticks. Tracks need lubrication.

INTERIOR

SMOKE / FIRE DETECTOR:

COMMENTS:

All upstairs detectors are OK. Recommend at least one smoke detector for downstairs.

HEATING - AIR CONDITIONING

HEATING SYSTEM CONDITION:

AIR FILTERS:

Appear serviceable. Suggest cleaning/changing filter for most efficient operation.

ELECTRICAL SYSTEM

SWITCHES & OUTLETS:

CONDITION:

A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the house are in serviceable condition. Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation at upstairs hall bath, kitchen and downstairs bath.

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If repairs are necessary we suggest you obtain competitive estimates for these items. If a contractor is required and you would like a referral to contractor in the area, please call us. Please read the complete report as minor items will be noted and should receive eventual attention, but none of them affect the habitability of the house. Many of these items are the result of normal wear and tear and will be the buyers responsibility to determine their importance.

Thank you for selecting our Pacific Crest Inspections to do your home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,

Rick Bunzel



5116 Heather Dr.

Anacortes, Washington 98221

Toll Free 1-866-618-7764 or 360-588-9956

enclosure

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# INSPECTION CONDITIONS

## CLIENT & SITE INFORMATION:

## FILE #:

12\_10\_02.

## DATE OF INSPECTION:

12/10/06.

## TIME OF INSPECTION:

11AM.

## CLIENT NAME:

Sample.

## INSPECTION SITE:

157 9th St.

## INSPECTION SITE CITY/STATE/

## ZIP:

Anacortes, Washington.

## INSPECTION SITE PHONE #:

Remax - .

## PAYMENT INFORMATION:

## TOTAL FEE:

\$000

Radon \$100.

## CLIMATIC CONDITIONS:

## WEATHER:

Rain

## SOIL CONDITIONS:

Wet.

## APPROXIMATE OUTSIDE

## TEMPERATURE:

50 degrees.

## BUILDING CHARACTERISTICS:

## MAIN ENTRY FACES:

Northeast.

## ESTIMATED AGE OF HOUSE:

25.

## BUILDING TYPE:

Contemporary.

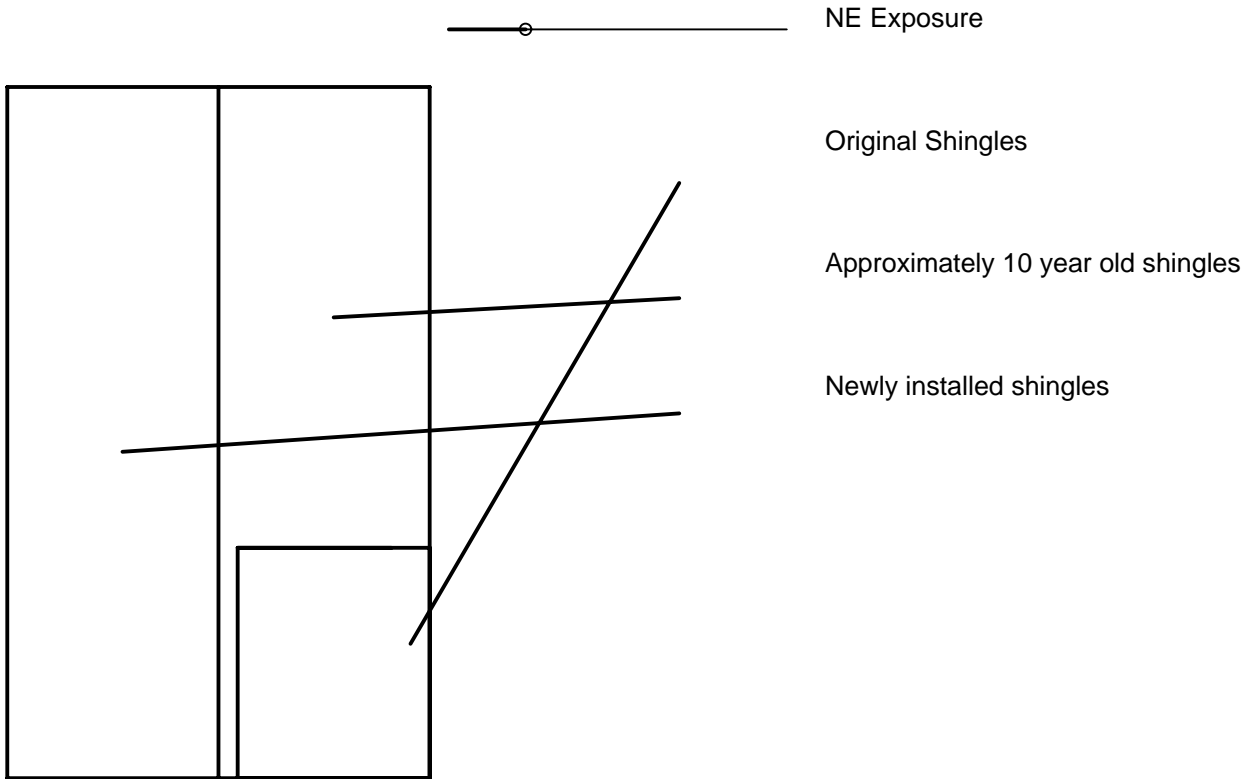
## STORIES:

2

## SPACE BELOW GRADE:

Crawl space.

SITE SKETCH: (Top of page is due north)



**UTILITY SERVICES:**

WATER SOURCE:  
Public.

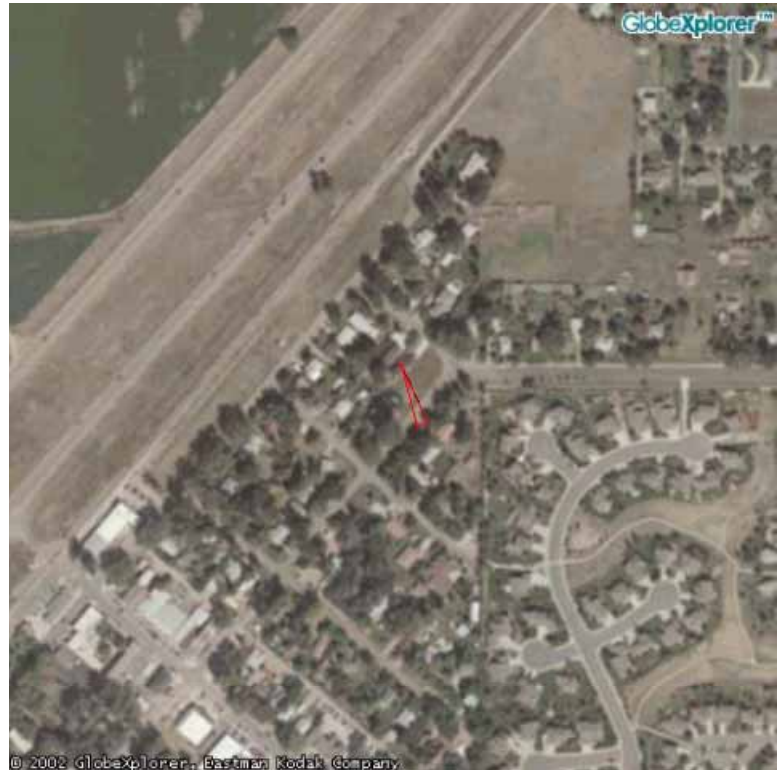
SEWAGE DISPOSAL:  
Public.

UTILITIES STATUS:  
All utilities on.

**OTHER INFORMATION:**

AREA:

Suburb.



HOUSE OCCUPIED?

Yes.

CLIENT PRESENT:

No.

PEOPLE PRESENT:

Selling agent.

**REPORT LIMITATIONS**

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general



estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

# GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

## DRIVEWAY:

**CONDITION:**

Appears to have been replaced in recent years.

## SIDEWALKS:

**TYPE:**

No public walk.

## LANDSCAPING:

**CONDITION:**

Maintained.

## GRADING:

**SITE:**

Flat site.

## DECKS:

**TYPE:**

Wood.

**CONDITION:**

Appears serviceable, some deterioration noted to deck surface.

## PATIO/PORCH COVER:

**TYPE:**

Open design.

**CONDITION:**

Appears serviceable.

## FENCES & GATES:

**TYPE:**

Wood.

**CONDITION:**

Appears serviceable.

# EXTERIOR - FOUNDATION - BASEMENT

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

## WALLS:

### MATERIAL:

Wood siding.

### CONDITION:

Appears serviceable. Wood siding is in contact with soil. This could allow some types of pests such as termites to come in contact with the siding. Soil should be pulled back from wood by about 6".

There appears to be numerous areas where birds or possibly rodents have penetrated the wood sheeting. Some areas have been sealed with sheet metal and other are still open. See pictures.



## TRIM:

### MATERIAL:

Wood.

### CONDITION:

Wood is in contact with soil.

## CHIMNEY:

### MATERIAL:

NA.

## BASEMENT/CRAWL SPACE:

### ACCESSIBILITY:

Crawl space is fully accessible, Basement is fully accessible.

### CRAWL SPACE:

In good condition. Entire area was covered with heavy duty plastic. Did not view any evidence of active rodent infestation in this area.

### BASEMENT WALLS - TYPE:

Concrete block covered with blown insulation.

### CONDITION:

Appears serviceable.

### BEAMS:

2X6 Appears serviceable.

FLOOR JOISTS:

Appear serviceable.

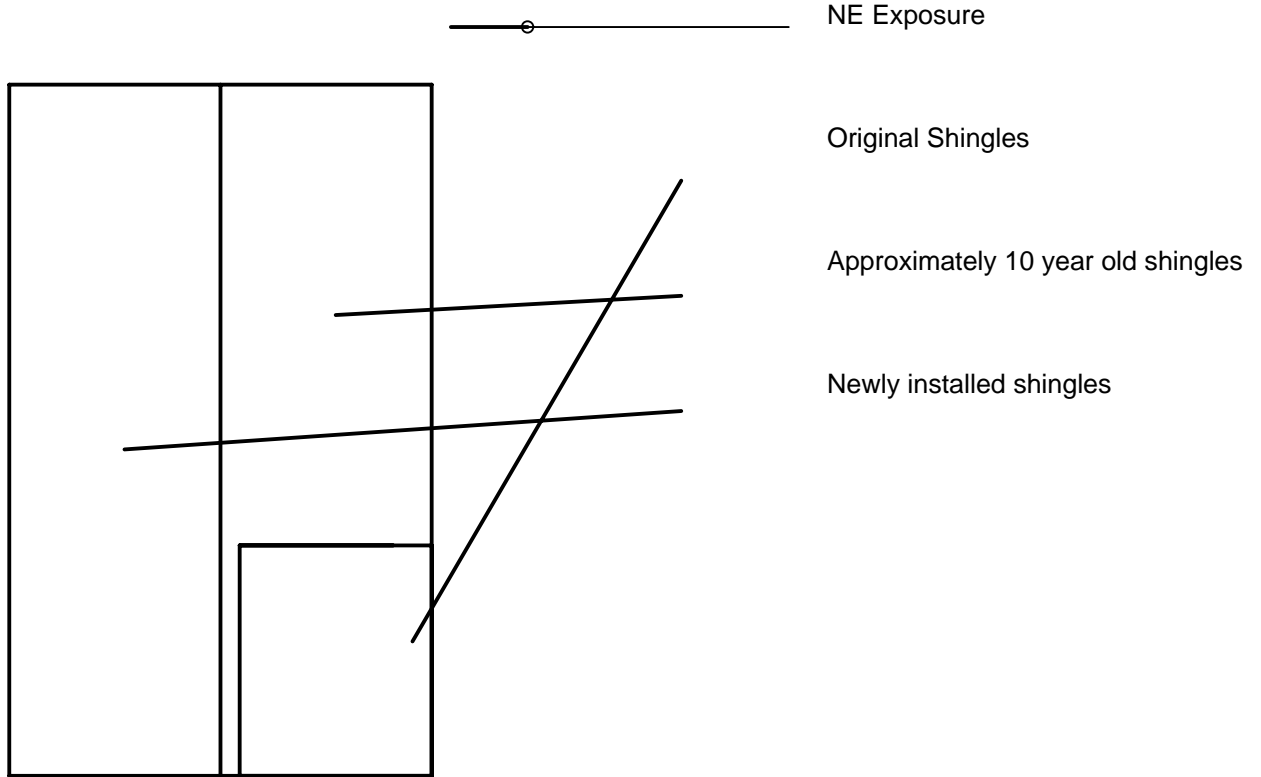
COLUMNS/SUPPORTS:

Appear serviceable.

BASEMENT FLOOR AND DRAINAGE:

No evidence of water intrusion.

PLAN VIEW OF FOUNDATION (not to scale)



# ROOF SYSTEM

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

## ATTIC AND INSULATION:

### ACCESSIBILITY AND CONDITION:

Viewing was limited, to observing from hatch areas only. Access was limited by shelving in closet area goods.



### INSULATION TYPE AND CONDITION:

Cellulose- Blown.

### DEPTH AND R-FACTOR:

5-6 inches.

## ROOF:

### STYLE:

Gable.

### TYPE:

Composition shingles.

### ROOF ACCESS:

Walked on roof.

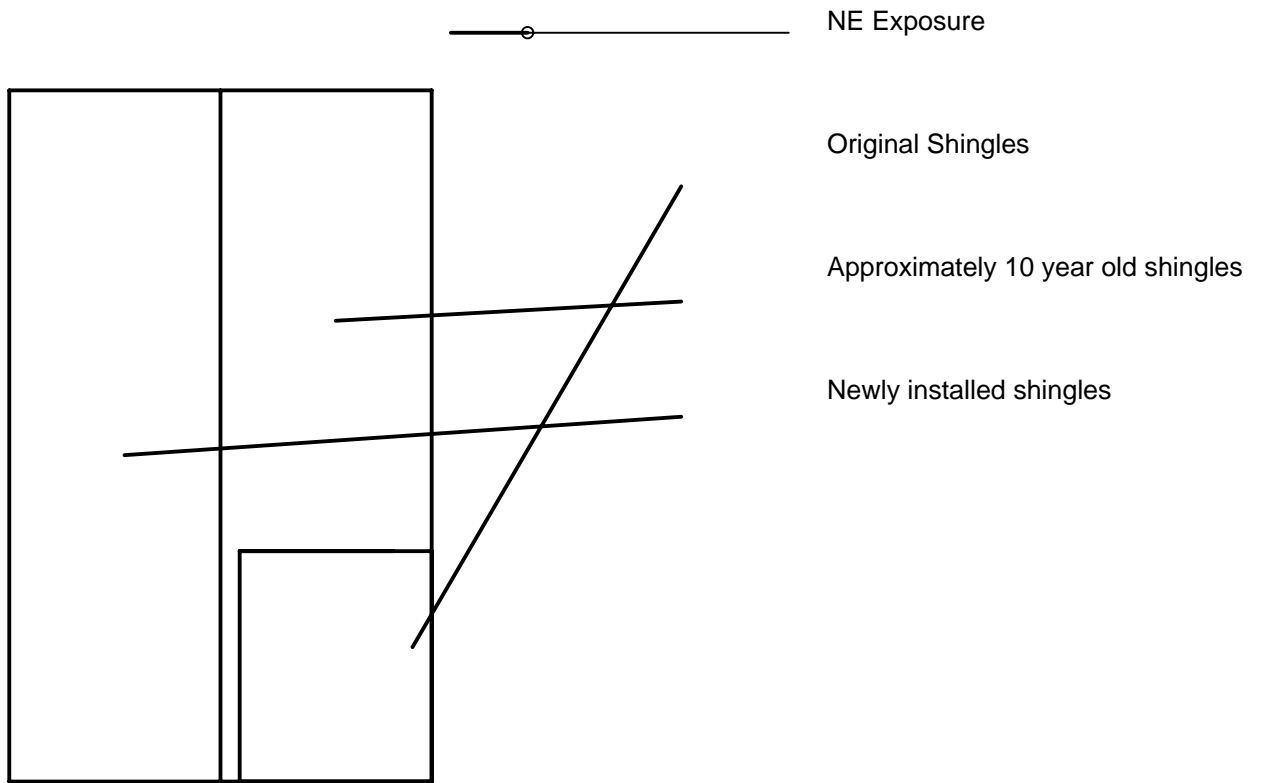
ROOF COVERING STATUS:

There appears to be three generations of shingles on the house. The original shingles such as on front porch and SW corner appears to be original, roofing on NE (front) portion of the roof is approximately 10 yr. old and on the SE portion of the roof was installed recently. Asphalt or fiberglass roofing shingles generally have service lives of 10-12 years and 12-15 years respectively in this area of the country. Heavy duty shingles will often last 15 to 18 years before replacement is needed. Signs of aging include brittleness, minor curling, and loss of mineral granules, while signs of advanced aging are severe curling, broken or split shingles, and exposed felts. The porch, shed and SE corner shows signs of advanced aging (see pictures)



Porch, shed and SW corner of roof

PLAN VIEW OF ROOF (not to scale)



**EXPOSED FLASHINGS:**

TYPE AND CONDITION:

Metal.

**GUTTERS & DOWNSPOUTS:**

TYPE & CONDITION:

Full -Aluminum in good condition.

# GARAGE - CARPORT

Notice: Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas.

**TYPE:**

## LOCATION:

Built-In.

**ROOF:**

## CONDITION:

Same as house.

**FLOOR:**

## CONDITION:

Appears serviceable.

**FIRE WALL:**

## CONDITION:

Appears serviceable.

**GARAGE DOOR(S):**

## CONDITION:

Appears serviceable, Automatic reverse feature is operational. Left door is manual in operation and sticks.  
Tracks need lubrication.

**MISCELLANEOUS:**

All garage outlets are GFI protected according to breaker panel.



# INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

## DOORS:

### MAIN ENTRY DOOR:

Metal with deadbolt - Appears serviceable.

### OTHER EXTERIOR DOORS:

Garage door has some damage from animals.

### INTERIOR DOORS:

Bedroom #3 Bolt and striker are damaged.



**WINDOWS:**

**TYPE & CONDITION:**

All in good shape. Window in rear is cracked.



**INTERIOR WALLS:**

**MATERIAL & CONDITION:**

Drywall, General condition appears serviceable.

**CEILINGS:**

**TYPE & CONDITION:**

Drywall.

**FLOORS:****TYPE & CONDITION:**

Carpet, Wood, Tile. Tile in Sunroom has running crack approximately 5ft. long. This appears to be from settling in that area of the floor.



**Crack and Raised Edge**

**STAIRS & HANDRAILS:****CONDITION:**

Interior stairs serviceable.

**SMOKE / FIRE DETECTOR:****COMMENTS:**

All upstairs detectors are OK. Recommend at least one smoke detector for downstairs.

# PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected.

## MAIN LINE:

**MATERIAL:**

Copper.

**CONDITION:**

Appears serviceable.

## SUPPLY LINES:

**MATERIAL:**

Copper.

**CONDITION:**

Appears serviceable.

## WASTE LINES:

**MATERIAL:**

Plastic.

**CONDITION:**

Appears serviceable.

## HOSE FAUCETS:

**OPERATION:**

Sample operated, appeared serviceable, Frost proof type.

## WATER HEATER:

**TYPE:**

Gas.

**SIZE:**

50 Gallons.

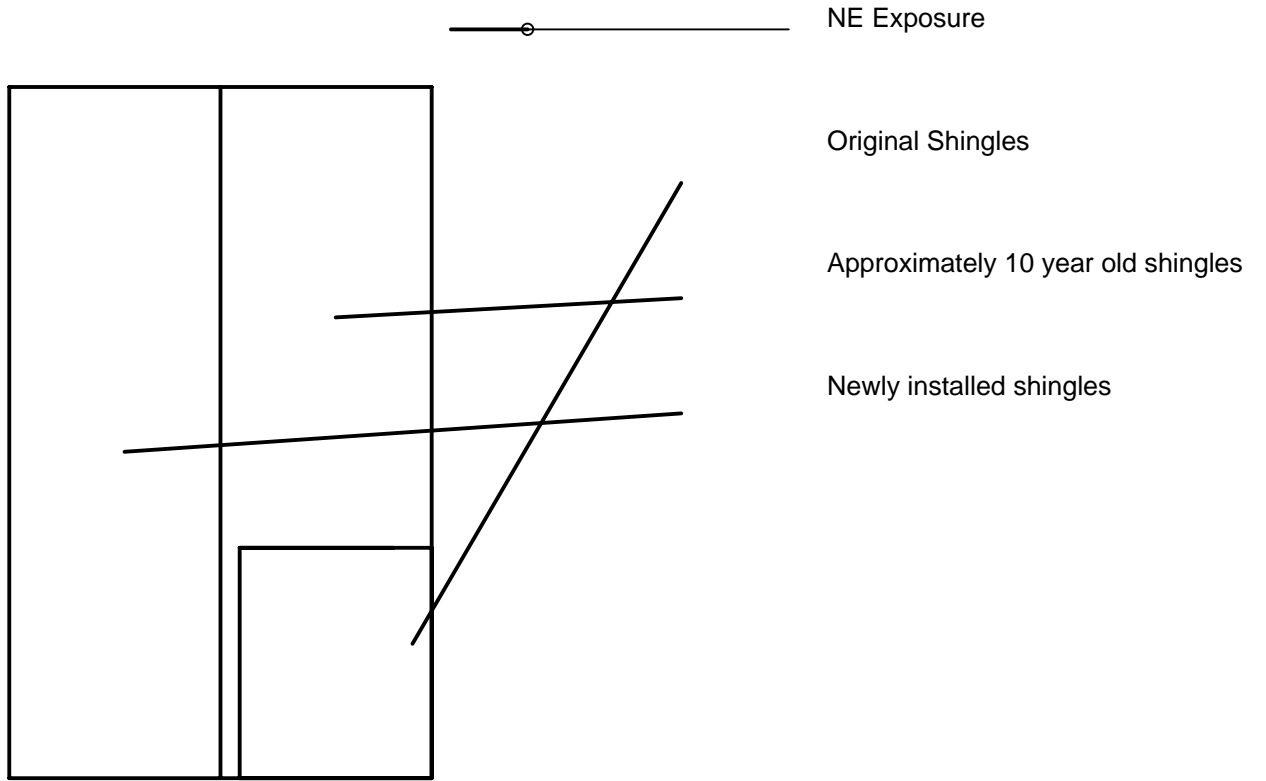
**LOCATION:**

Utility room.

**CONDITION:**

Appears to be about 10 years old. Flue vent intact, A water shutoff valve is installed.

PLUMBING HIGHLIGHTS SKETCH:



# HEATING - AIR CONDITIONING

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems.

Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and dehumidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

## HEATING SYSTEM DESCRIPTION:

### LOCATION OF PRIMARY UNIT:

Crawl space.

### SYSTEM TYPE:

80% to 90% Efficient forced air.



### FUEL TYPE AND NOTES:

Natural Gas.

### CAPACITY OF UNIT:

Unknown.

### APPROXIMATE AGE IN YEARS:

Unable to find label. Believe it is about 10 years old.

### SECONDARY HEATING SYSTEM:

Electric Baseboard.

**ADDITIONAL HEATING SYSTEMS:**

Unknow type of air handling unit in attic.  
Have the sellers disclose the purpose of system and demonstrate the proper operation of this component prior to taking possession of the property.



McQuay Air handler ????

**HEATING SYSTEM CONDITION:****PRIMARY UNIT:**

Appears operational.

**BURNERS/HEAT EXCHANGERS:**

Closed System - Unable to inspect.

**PUMP/BLOWER FAN:**

Appears Serviceable.

**COMBUSTION AIR:**

Appears serviceable.

**VENTING:**

Appears serviceable.

**AIR PLENUM:**

Appears serviceable.

**AIR FILTERS:**

Appear serviceable. Suggest cleaning/changing filter for most efficient operation.

**NORMAL CONTROLS:**

Appear serviceable.

**SECONDARY HEATING UNIT:**

Checked a sampling of the baseboard units, all appeared operational.

**DUCTWORK:****TYPE:**

sheet metal, Flexible Round.

**DUCTS/AIR SUPPLY:**

Appears serviceable.

## AUXILIARY EQUIPMENT:

### SWAMP COOLER:

Swamp Cooler legs need to be attached and caulked to prevent roof leak. Drain line is missing and needs to be routed to a drain to avoid damage to shingles. Water supply line appears to be a temporary connect to spigot. It is recommended that a permanent connection be made.



Missing drain line, unattached leg, Water



# ELECTRICAL SYSTEM

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

## SERVICE:

### TYPE AND CONDITION:

Overhead, 110/220 Volt, Circuit breakers.

## ELECTRICAL PANELS:

### MAIN PANEL LOCATION AND

### NOTES:

Exterior of house.



### Inspector Notes:

System has power miser controller. This was probably installed when house was built. Check with owners to see if it is still operational. Appears to control baseboard heaters.



Power Miser Panel

# OF 110 VOLT CIRCUITS:  
16.

# OF 220 VOLT CIRCUITS:  
10 in panel although 2 are not currently in use.

**CONDUCTORS:**

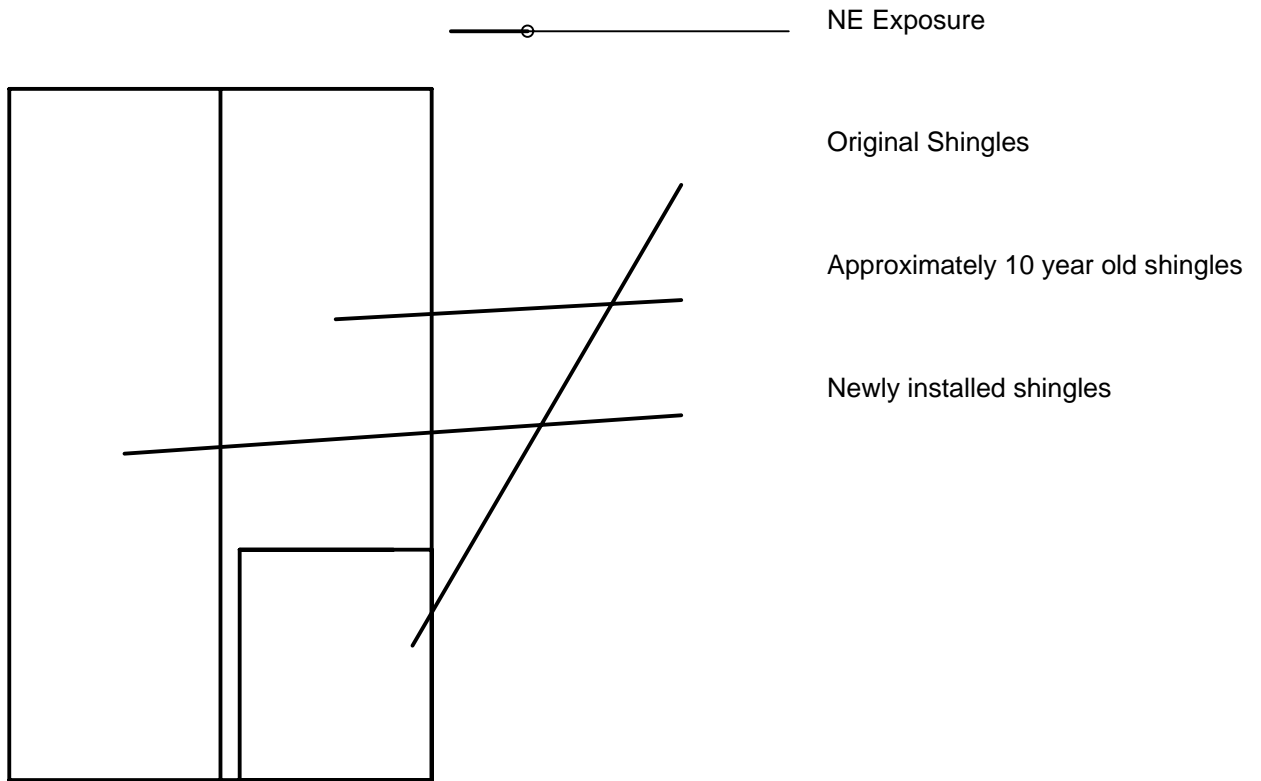
ENTRANCE CABLES:  
Aluminum- OK.

BRANCH WIRING:  
Copper.

**SWITCHES & OUTLETS:**

CONDITION:  
A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the house are in serviceable condition. Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation at upstairs hall bath, kitchen and downstairs bath.

**ELECTRICAL HIGHLIGHTS SKETCH:**



# Bedrooms

## Master

### Doors

In good condition.

### Heat

Forced Air.

### Electrical

Appears serviceable.

### Walls

OK.

### Windows

Window cranks not available not able to check operation.

### Ceilings

OK.

### Flooring

carpet.

## Bedroom #2 - location \_\_\_\_\_

### Doors

OK.

### Heat

Baseboard OK.

### Electrical

Appears serviceable.

### Walls

OK.

### Windows

OK.

### Ceilings

OK.

### Flooring

carpet.

## Bedroom #3 Location \_\_\_\_\_

**Doors**

Damaged.



**Heat**

Baseboard - OK.

**Electrical**

OK.

**Walls**

OK.

**Windows**

OK.

**Ceilings**

OK.

**Flooring**

carpet.

## Bedroom #4 Location \_\_\_\_\_

**Doors**

Interior and exterior OK.

**Heat**

Baseboard - Not tested - couch blocking unit.

**Electrical**

OK.

**Walls**

OK.

**Windows**

OK.

**Ceilings**

OK.

**Flooring**

OK.

# BATHROOMS

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future.

## BATHROOM AREA:

**BATH LOCATION:**

Master bedroom.

**CONDITION OF SINK:**

2X, Good flow Drain appear serviceable, no leaks.

**CONDITION OF TOILET:**

Appears serviceable.

**TUB/SHOWER PLUMBING**

**FIXTURES:**

Appears serviceable, Drain appears serviceable.

**TUB/SHOWER AND WALLS:**

Tub and shower areas appear serviceable, Shower walls appear serviceable.

**BATH VENTILATION:**

Appears serviceable - fan and heater OK.

## BATHROOM AREA:

**BATH LOCATION:**

Between bedrooms.

**CONDITION OF SINK:**

Corian, Appears serviceable, Drain appear serviceable.

**CONDITION OF TOILET:**

Appears serviceable.

**TUB/SHOWER PLUMBING**

**FIXTURES:**

Appears serviceable.

**TUB/SHOWER AND WALLS:**

Tub and shower areas appear serviceable, Enclosure appears serviceable.

**BATH VENTILATION:**

Appears serviceable Fan and heater OK.

## BATHROOM AREA:

**BATH LOCATION:**

Laundry.

**CONDITION OF SINK:**

Corian Appears serviceable, Drain appear serviceable.

**CONDITION OF TOILET:**

Appears serviceable.

**TUB/SHOWER PLUMBING**

**FIXTURES:**

NA.

**BATH VENTILATION:**

Heater working.

# KITCHEN - APPLIANCES - LAUNDRY

Inspection of stand alone freezers and built-in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

## KITCHEN SINK:

### TYPE AND CONDITION:

Corian Good.

## RANGE/COOK TOP AND OVEN:

### TYPE/CONDITION:

Gas top OK

Broiler - Ok

Oven - OK.

## VENTILATION:

### TYPE AND CONDITION:

External - Starts out slow - seems to work.

## REFRIGERATOR:

### TYPE AND CONDITION:

Electric.

## DISHWASHER:

### CONDITION:

Appears serviceable.

## GARBAGE DISPOSAL:

### CONDITION:

Unit makes unusual noises and vibrates.

## OTHER BUILT-INS:

### ICE MAKER:

Appears serviceable.

**INSTANT HOT WATER DISPENSER:**

Water Filter - according to label filter should have been changed in August 2002. Suggest cleaning/changing filter for most efficient operation.

**INTERIOR COMPONENTS:****COUNTERS AND CABINETS:**

Counters are Corian, Cabinets are Formica (plastic laminate) with wood trim.

**WALLS/CEILINGS/FLOORS:**

Walls and ceilings appear serviceable.

**WINDOWS/DOORS:**

Appear serviceable.

**SWITCHES/FIXTURES/OUTLETS:**

Appear serviceable.

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

**LAUNDRY:****LOCATION:**

Service area main floor.

**CONDITION:**

Plumbing appears serviceable, Gas service pipe is provided.

**WASHER AND DRYER:****CLOTHES WASHER:**

not tested.

**CLOTHES DRYER:**

not tested.



## WALK-THROUGH INSPECTION FORM

A walk-through before closing is the final opportunity to assure that a property and its components are exactly as they are supposed to be delivered; that changes, repairs, and improvements required in the sales contract have been made; and that the owner has not damaged the property. Pacific Crest Inspections provides this form to assist you in the walk-through. Print this form and take it with you.

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### Safety Concerns

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### Correction Recommended

#### ROOF SYSTEM

##### ROOF:

##### ROOF COVERING STATUS:

1. There appears to be three generations of shingles on the house. The original shingles such as on front porch and SW corner appears to be original, roofing on NE (front) portion of the roof is approximately 10 yr. old and on the SE portion of the roof was installed recently. Asphalt or fiberglass roofing shingles generally have service lives of 10-12 years and 12-15 years respectively in this area of the country. Heavy duty shingles will often last 15 to 18 years before replacement is needed. Signs of aging include brittleness, minor curling, and loss of mineral granules, while signs of advanced aging are severe curling, broken or split shingles, and exposed felts. The porch, shed and SE corner shows signs of advanced aging (see pictures)

#### INTERIOR

##### DOORS:

##### INTERIOR DOORS:

2. Bedroom #3 Bolt and striker are damaged.

##### WINDOWS:

##### TYPE & CONDITION:

3. All in good shape. Window in rear is cracked.

#### HEATING - AIR CONDITIONING

##### AUXILIARY EQUIPMENT:

##### SWAMP COOLER:

4. Swamp Cooler legs need to be attached and caulked to prevent roof leak. Drain line is missing and needs to be routed to a drain to avoid damage to shingles. Water supply line appears to be a temporary connect to spigot. It is recommended that a permanent connection be made.

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### Further Evaluation



HEATING - AIR CONDITIONING

HEATING SYSTEM DESCRIPTION:

ADDITIONAL HEATING SYSTEMS:

1. Unknow type of air handling unit in attic. Have the sellers disclose the purpose of system and demonstrate the proper operation of this component prior to taking possession of the property.

<b>General</b>	N/A	YES	NO	OTHER
Any major changes to the property?				
Agreed upon modifications or repairs completed?				
Receipts/warranties/guarantees provided by repair contractors?				
Seller's report any major changes, additions				

<b>Roofing</b>	N/A	YES	NO	OTHER
Indications of roof leakage?				
Gutters and downspouts secure?				
Signs of roof surface, flashings, vent or chimney damage?				

<b>Exterior</b>	N/A	YES	NO	OTHER
New cracks, paint peeling or other visible defects?				
Trip hazards, cracking in the walkways, driveway, or steps?				
Plants growing on the building?				
Stairway, deck, porch and other railings secure and proper?				
New cracks or indications of retaining wall failure?				
Signs of inadequate surface drainage?				
Openings into the building at trim, flashings, chimneys, etc.?				
Signs of soil movement in areas around building?				

<b>Subfloor Area/Basement</b>	N/A	YES	NO	OTHER
Accessible areas dry?				
Indications of new water entry?				
Sump pump operational?				
Indications of new foundation cracking or movement?				
Musty odors or signs of mold or mildew?				

<b>Interior</b>	N/A	YES	NO	OTHER
Stains, cracks or damage to interior walls, ceilings or floors				
Cracked or broken windows?				
Windows and window latches operate properly?				
Doors and door latches operate properly?				
New stains or leaks at kitchen, bathroom or laundry sinks?				
Damage or stains to carpet, vinyl or wood?				
Smoke Alarms in hallways, on each floor, in each bedroom?				

<b>Kitchen &amp; Bathrooms</b>	N/A	YES	NO	OTHER
Appliances functional?				
Cabinets, countertops, sinks or floors damaged?				

<b>Garage</b>	N/A	YES	NO	OTHER
Vehicle doors functional?				
Fire-rated doors provided?				
Automatic door opener reverse properly?				
Fire-rated surfaces at house walls, attic and subfloor areas?				
Indications of dampness or mildew?				

<b>Electrical</b>	N/A	YES	NO	OTHER
Light fixtures operate?				
Outlets functional?				
Smoke detectors provided and functional?				
Doorbell operational?				
GFCI outlets at kitchen, bathrooms, exterior and garage?				
GFCI devices functional?				
Dangling or exposed wiring?				
Extension, lamp cord, or zip cord used as permanent wiring?				

<b>Plumbing</b>	N/A	YES	NO	OTHER
Adequate water flow at fixtures and drains?				
Faucet or drain pipe leaks?				
Adequate water pressure?				
Hot water provided?				
Clothes washer and dryer functional?				
Water heater adequately strapped				
Water heater has proper pressure/temperature relief?				

<b>Heating/Cooling</b>	N/A	YES	NO	OTHER
System functional?				
Serviced recently?				
Adequate heat/cooling distribution to rooms?				

<b>Fireplace</b>	N/A	YES	NO	OTHER
Safety check on older fireplaces and chimneys?				
Dampers operational?				
Fire boxes need repair?				
Spark arrestor and rain cap installed?				